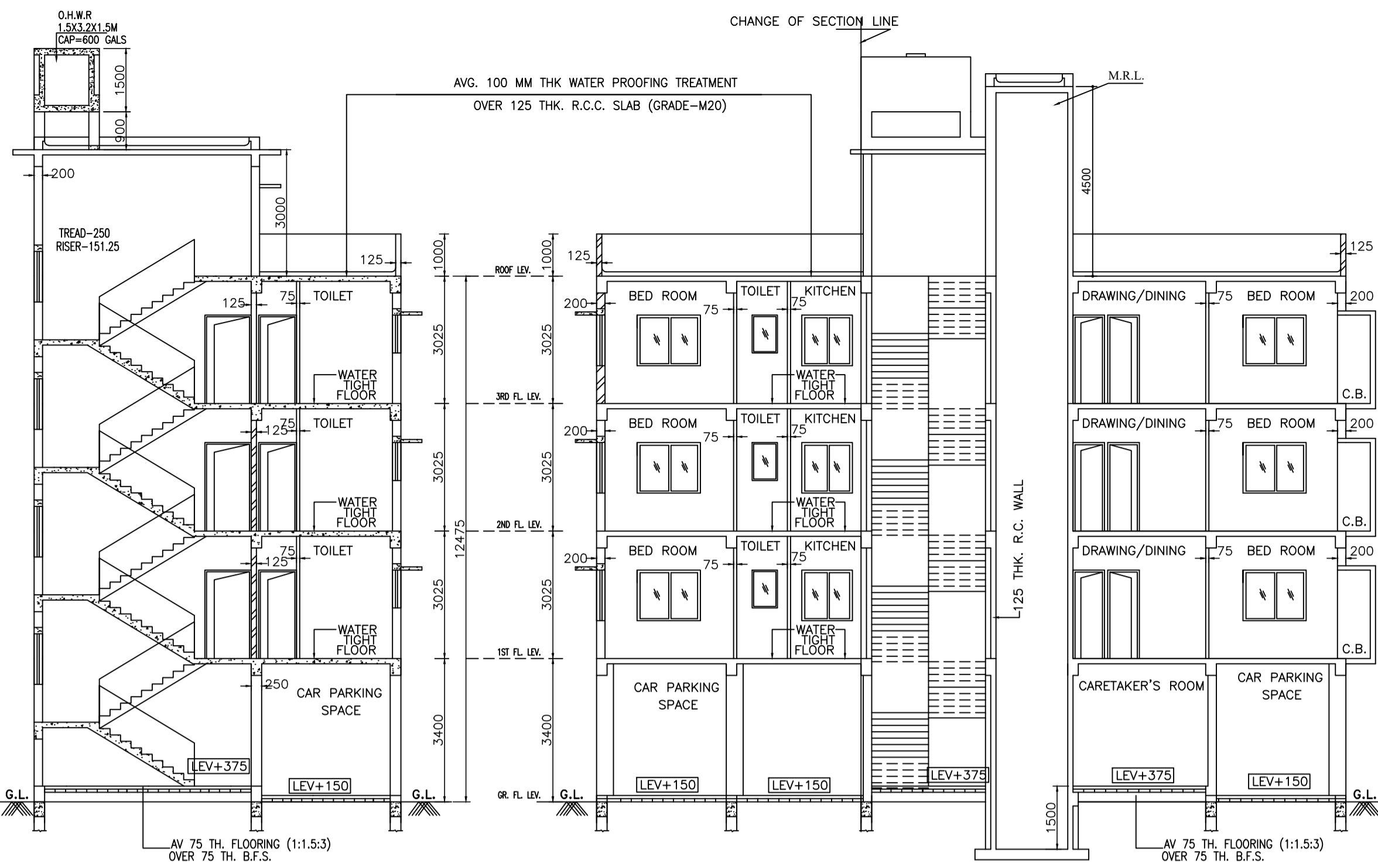


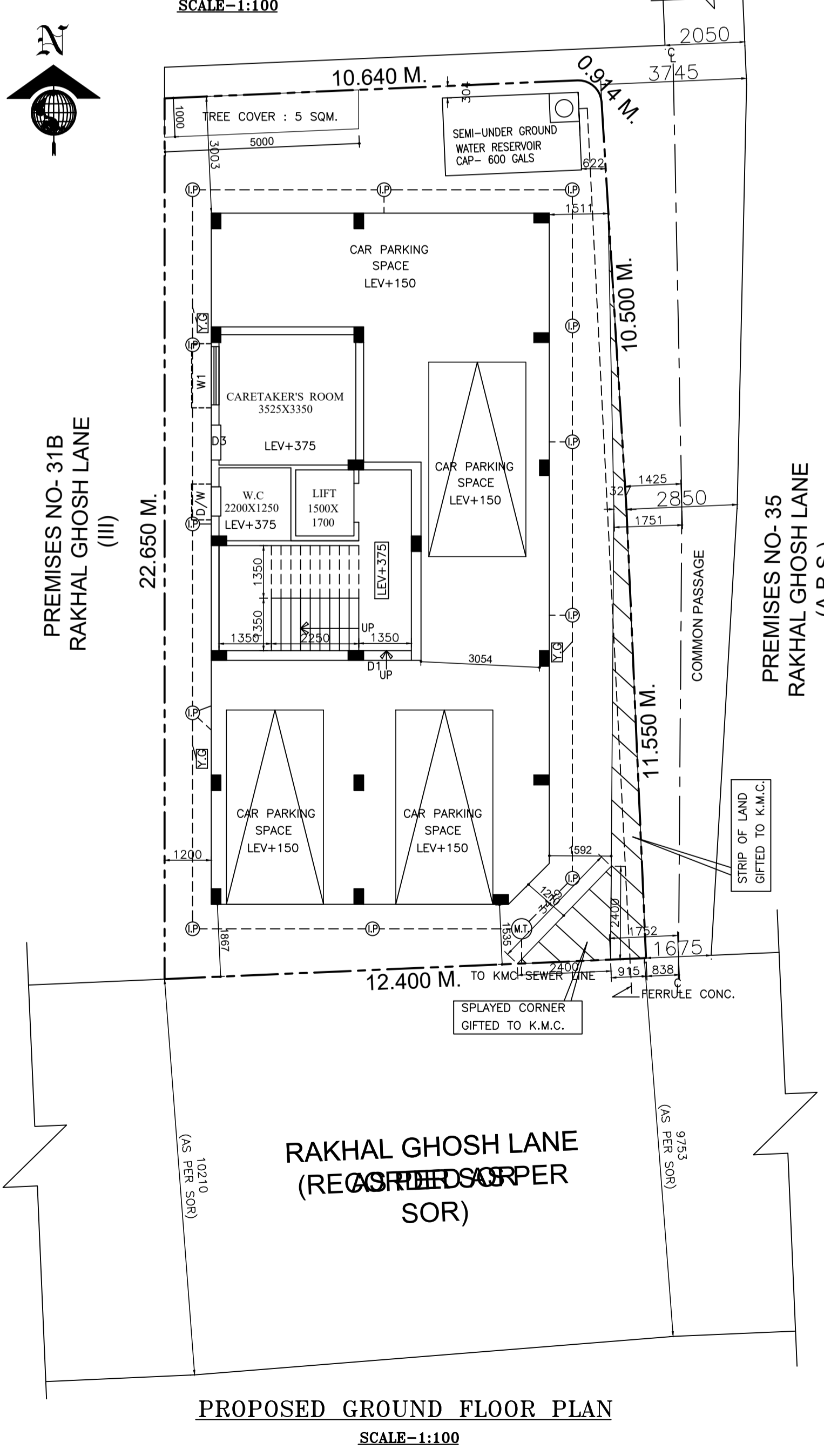
FRONT ELEVATION
SCALE-1:100

EAST SIDE ELEVATION
SCALE-1:100

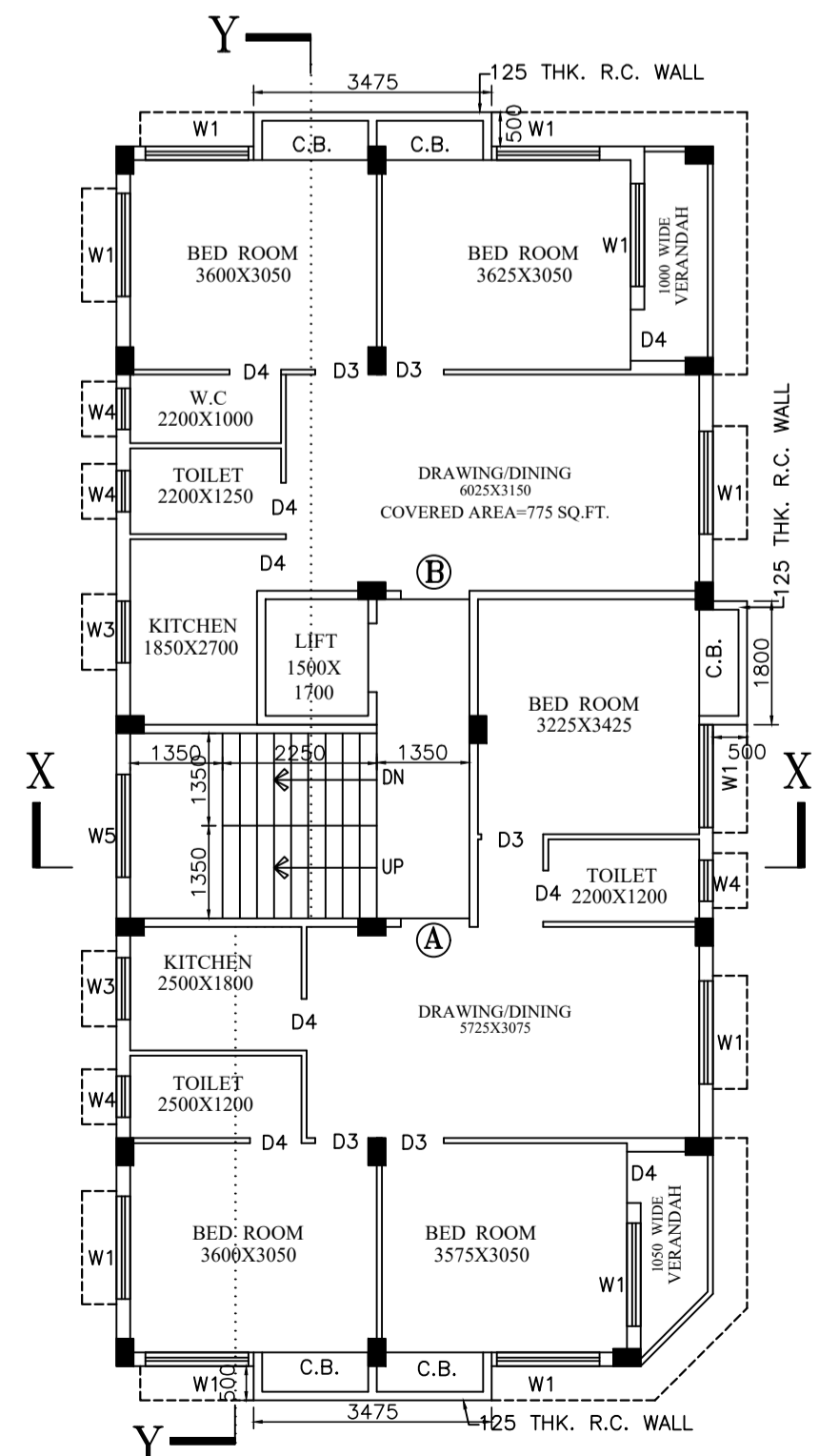


SECTION ON- X-X
SCALE-1:100

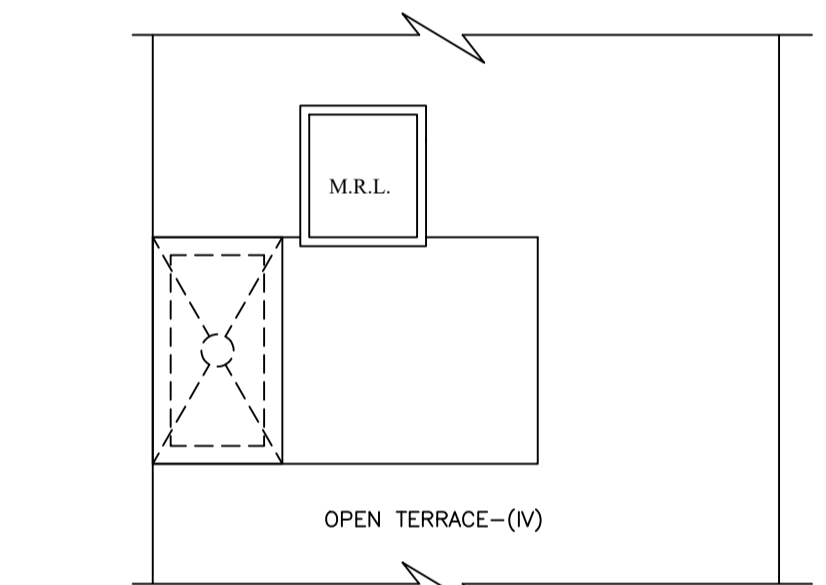
SECTION ON- Y-Y
SCALE-1:100



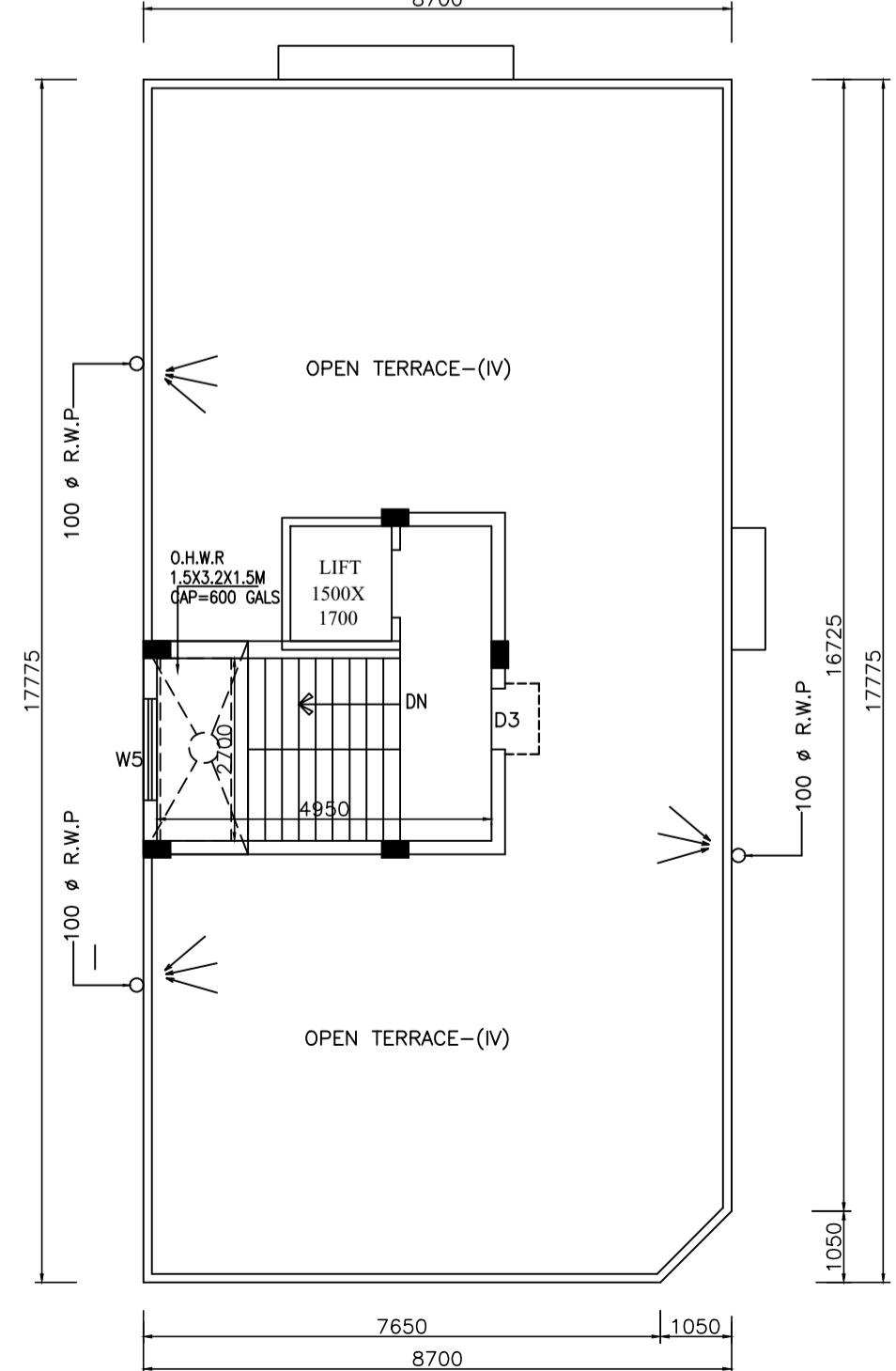
PROPOSED GROUND FLOOR PLAN
SCALE-1:100



PROPOSED 1ST, 2ND & 3RD FLOOR PLAN
SCALE-1:100



PROPOSED ABOVE TERRACE FLOOR PLAN
SCALE-1:100



PROPOSED TERRACE FLOOR PLAN
SCALE-1:100

STATEMENT OF THE PLAN : 2023030080

FLOOR	RESIDENTIAL	STAIR DUCT	LIFT WELL	NET COVERED AREA	LIFT LOBBY	STAIR WELL	NET FLOOR AREA
GROUND FLOOR	154.091 SQ.M.	--	--	154.091 SQ.M.	2.632 SQ.M.	13.365 SQ.M.	138.094 SQ.M.
FIRST FLOOR	154.091 SQ.M.	--	2.550 SQ.M.	151.541 SQ.M.	2.632 SQ.M.	13.365 SQ.M.	135.544 SQ.M.
SECOND FLOOR	154.091 SQ.M.	--	2.550 SQ.M.	151.541 SQ.M.	2.632 SQ.M.	13.365 SQ.M.	135.544 SQ.M.
THIRD FLOOR	154.091 SQ.M.	--	2.550 SQ.M.	151.541 SQ.M.	2.632 SQ.M.	13.365 SQ.M.	135.544 SQ.M.
TOTAL AREA	616.364 SQ.M.	--	7.650 SQ.M.	608.714 SQ.M.	10.528 SQ.M.	53.460 SQ.M.	544.726 SQ.M.

TENEMENTS & CAR PARKING CALCULATION :

TENEMENT MARKED	TENEMENT SIZE	PROP. AREA TO BE ADDED	TENEMENT INCLUDING SERVICE AREA	NO. OF TENEMENT	NO. OF TENEMENT IN BETWEEN	NO. OF PARKING
1A,2A,5A	72.946 SQ.M.	16.763 SQ.M.	89.709 SQ.M.	03		
1B,2B,3B	61.439 SQ.M.	14.119 SQ.M.	75.558 SQ.M.	03	75 < 100 = 06	03

TOTAL NO. OF PARKING REQD. : 03
 NO. OF COVERED CAR PARKING PROVIDED : 03
 PERMISSIBLE AREA OF CAR PARKING : 75.000 SQ.M.
 PROPOSED AREA OF PARKING : 112.912 SQ.M.
 PERMISSIBLE F.A.R. : 2.250
 PROPOSED F.A.R. : (544.726-75)/268.293=1.751
 STAIR HEAD ROOM AREA : 16.852 SQ.M.
 LIFT MACHINE ROOM AREA : 3.412 SQ.M.
 W.C AREA AT ROOF : NIL.
 OVER HEAD TANK AREA : 11.382 SQ.M.
 TOTAL CUPBOARD AREA : 13.122 SQ.M.
 TOTAL TERRACE AREA : 154.091 SQ.M.
 TOTAL BUILT-UP AREA : 642.100 SQ.M.
 TOTAL TREE COVERED REQUIRED : 4.083 SQ.M. (1.522 % OF LAND AREA)
 TREE COVER AREA PROVIDED : 5.000 SQ.M. (1.864 % OF LAND AREA)

- DETAIL OF REGD. DEEDS & DOCUMENTS**
- DETAIL OF DEED OF OWNERSHIP:
 DETAILS OF REGISTERED DEED :
 BOOK NO.-I, VOL-61, PAGE-283-294, BEING NO-1111, DATE-09.08.2006 PLACE-A.D.S.R., SEALDAH
 DETAILS OF REGISTERED DEED :
 BOOK NO.-I, VOL-1606-2022, PAGE-43308-43349 BEING NO-160601074, DATE-09.03.2022 PLACE-A.D.S.R., SEALDAH
 DETAILS OF REGISTERED GIFT DEED :
 BOOK NO.-I, VOL-77, PAGE-95-104 BEING NO-1617, DATE-19.12.2005 PLACE-A.D.S.R., SEALDAH
 - DETAILS OF REGISTERED BOUNDARY DECLARATION :
 BOOK NO.-I, VOL-1606-2023, PAGE-77822-77852, BEING NO-160602859 DATED-05.08.2023, PLACE-A.D.S.R., SEALDAH
 - DETAIL OF REGISTERED POWER OF ATTORNEY :
 BOOK NO.-I, VOL-1606-2023, PAGE-70026-7054, BEING NO-160602571 DATED-12.07.2023, PLACE-A.D.S.R., SEALDAH
 - DETAIL OF REGISTERED STRIP OF LAND :
 BOOK NO.-I, VOL-1606-2023, PAGE-77787-77800, BEING NO-160602861 DATED-02.08.2023, PLACE-A.D.S.R., SEALDAH
 - DETAIL OF REGISTERED SPLAYED CORNER :
 BOOK NO.-I, VOL-1606-2023, PAGE-77773-77786, BEING NO-160602862 DATED-02.08.2023, PLACE-A.D.S.R., SEALDAH

PREMISES NO. - 34, RAKHAL GHOSH LANE, KOLKATA-700085, WARD NO.-035, ASSESSEE NO. - 110352000670
 NAME OF OWNER(S)/APPLICANT(S) : M/S. DOMICILE AERIAL HEIGHTS PVT. LTD., DIRECTOR : DEBOJYOTI MUKHERJEE AND C.A. TO TAPAS GHOSH & ELEVEN OTHERS.
 AREA OF LAND: (AS PER DEED) = 268.302 SQ.M. (04K-00CH-08SFT.)
 AS PER BOUNDARY DECLARATION = 268.293 SQ.M.
 NAME OF L.B.S.: SARAL PRASAD DAS (LBS/I/1352)
 PERMISSIBLE HEIGHT IN REFERENCE TO CCZM ISSUED BY AAJ: 33.00 M.
 PROPOSED HEIGHT OF BUILDING (AMSL+HT. OF BLDG.+ HT.TOP ROOF STRUCTURE) : 23.075 M.
 CO-ORDINATE IN WGS 84 AND SITE ELEVATION (AMSL)

REFERENCE POINTS MARKED IN THE SITE PLAN OF THE PROPOSAL	CO-ORDINATE IN WGS 84		SITE ELEVATION (AMSL)
	LATITUDE	LONGITUDE	
"1"	22° 34' 12.0"N	88° 22' 55.0" E	5.50 Meter

THE ABOVE INFORMATION IS TRUE AND CORRECT IN ALL RESPECT AND IF AT ANY STAGE, IT IS FOUND OTHERWISE, THEN WE SHALL BE FULLY LIABLE FOR WHICH K.M.C. AND OTHER APPROPRIATE AUTHORITY RESERVE THE RIGHT TO TAKE APPROPRIATE ACTION AGAINST US AS PER LAW.

M/S. DOMICILE AERIAL HEIGHTS PVT. LTD., DIRECTOR : DEBOJYOTI MUKHERJEE AND C.A. TO TAPAS GHOSH & ELEVEN OTHERS.
 SARAL PRASAD DAS (LBS/I/1352)
 SIGNATURE OF OWNERS/APPLICANTS SIGNATURE OF L.B.S.

DOORS & WINDOWS SCHEDULE

MKD	WIDTH	HEIGHT	DESCRIPTION
D1	1050	2100	COLAPSIBLE
D2	1000	2100	FLUSH DOOR
D3	900	2100	FLUSH DOOR
D4	750	2100	FLUSH DOOR
W1	1500	1200	FULLY GLAZED
W2	1200	1200	FULLY GLAZED
W3	1000	1200	FULLY GLAZED
W4	600	900	FULLY GLAZED
W5	1500	1800	FULLY GLAZED

- PART-A:**
- ASSESSEE NO : 110352000670
 - AREA OF LAND :-
 - a) AS PER TITLE DEED = 268.302 SQ.M. (04K-00CH-08SFT.)
 - b) AS PER BOUNDARY DECLARATION = 268.293 SQ.M.
 - STRIP OF LAND AREA (U/R 59C) = 8.445 SQ.M.
 - NO OF STOREY = G+III
 - NO. OF TENEMENTS = 06 NOS.
 - SIZE OF TENEMENTS = a) > 75 & < 100 SQ.M. = 06 NOS.

- PART-B:**
- AREA OF LAND:-
 - a) AS PER TITLE DEED = 268.302 SQ.M. (04K-00CH-08SFT.)
 - b) AS PER BOUNDARY DECLARATION = 268.293 SQ.M.
 - (i) PERMISSIBLE GROUND COVERAGE = 154.867 SQ.M. (57.724%)
 (ii) PROPOSED GROUND COVERAGE = 157.091 SQ.M. (57.434%)
 - PROPOSED HEIGHT OF THE BUILDING = 12.475 M.

- SPECIFICATION FOR BUILDING MATERIALS**
- ALL EXTERNAL BRICKWORK HAVE BEEN 200 THK. (UNLESS OTHERWISE MENTIONED) IN 1:6 CEMENT SAND MORTAR.
 - ALL INTERNAL BRICK WORKS HAVE BEEN 75 THK. & 125 THK. (UNLESS OTHERWISE MENTIONED) IN 1:4 CEMENT SAND MORTAR.
 - REINFORCEMENT TORSTEEL HAVE BEEN GRADE FE-500.
 - CEMENT CONCRETE HAVE BEEN GRADE M-20
 - EXTERNAL, INTERNAL & CEILING PLASTER (1:4) ONE PART CEMENT & FOUR PARTS SAND SHALL BE 20mm., 15mm. & 10mm. RESPECTIVELY.
 - DAMP PROOF COURSE HAVE BEEN 25mm. THK. CONC.(1:2:4) MIXED WITH WATERPROOFING COMPOUND "SIKA" OR ANY OTHER APPVD. MAKE.
 - ROOF WATER TO BE DRAINED OUT THROUGH SURFACE DRAINS.

CERTIFICATE OF L.B.S.
 CERTIFIED THAT THE PLAN ITSELF WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES 2009, AS AMENDED FROM TIME TO TIME AND THE SITE CONDITION INCLUDING THE ABUTTING ROAD IS CONFORM WITH THE PLAN. IT IS A BUILDABLE SITE NOT A TANK OR FILLED UP TANK. THERE IS AN EXISTING STRUCTURE. THE SAID PREMISES IS FULLY OCCUPIED BY THE OWNER AND THERE IS NO TENANT.
 SARAL PRASAD DAS (LBS/I/1352)
 SIGNATURE OF L.B.S.

CERTIFICATE OF STRUCTURAL ENGINEER:
 THE STRUCTURAL DESIGN OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAVE BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER N.B.C. OF INDIA AND RECOMMENDATION OF SOIL INVESTIGATION REPORT CONDUCTED BY GEO-TECH ENGINEER AND CERTIFY THAT IT IS SAFE AND STABLE IN ALL RESPECT.
 SARAL PRASAD DAS (ESE/II/750)
 SIGNATURE OF E.S.E.

CERTIFICATE OF GEO-TECHNICAL ENGINEER:
 UNDERSIGNED HAS INSPECTED THE CASE SITE AND CARRIED OUT FIELD SOIL INVESTIGATION TESTS THERE. IN COMPLYING I.S. CODES, ON THE BASIS OF RESULTS COMING FROM SUCH TESTS, CO-RELATING WITH CODES, IT IS CERTIFIED THAT THE LOAD COMING FROM THE BUILDING CAN BE WITHSTAND BY THE EXISTING SOIL STANDING THERE. I AM ALSO CERTIFIED THAT THE FOUNDATION SYSTEM AS PRESCRIBED IS SAFE & STABLE TO CARRY THE DESIGNED LOADS IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.
 SANTOSH KR. CHAKRABORTY (G.I./I/16)
 SIGNATURE OF GEO-TECHNICAL ENGINEER

DECLARATION OF OWNER /APPLICANT
 I/WE DO HERE BY DECLARE WITH FULL RESPONSIBILITY THAT, I/WE SHALL ENGAGE L.B.S & ESE DURING CONSTRUCTION. I/WE SHALL FOLLOW THE INSTRUCTION OF L.B.S & E.S.E DURING CONSTRUCTION OF THE BUILDING (AS PER PLAN) K.M.C AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURE IF ANY SUBMITTED DOCUMENT ARE FAKE. THE K.M.C AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF S.I.G.W.R TAKEN UNDER THE GUIDANCE OF LBS/ESE BEFORE STARTING OF BUILDING FOUNDATION.
 M/S. DOMICILE AERIAL HEIGHTS PVT. LTD., DIRECTOR : DEBOJYOTI MUKHERJEE AND C.A. TO TAPAS GHOSH & ELEVEN OTHERS.
 SIGNATURE OF OWNERS/APPLICANTS

ARCHITECTURAL DRAWING
 PROPOSED PLAN OF GROUND + THREE STORIED RESIDENTIAL BUILDING AT PREMISES NO:-34, RAKHAL GHOSH LANE, KOLKATA-700085, WARD NO.-035, BOROUGH NO.-III, P.S.-BELIAGHATA, UNDER SECTION 393A OF K.M.C. ACT-1980. COMPLYING K.M.C BUILDING RULE-2009, WITHIN THE KOLKATA MUNICIPAL CORPORATION.

BP NO. 2023030084
 DATED : 21/02/2024
 VALID TILL : 20/02/2029
 NOT APPLICABLE
 DIGITAL SIGNATURE OF A.E.(C)/BLDG./BR.-I/K.M.C.
 DIGITAL SIGNATURE OF E.E.(C)/BLDG./BR.-I/K.M.C.

CONSULTANT:-
 ARCHITECTURAL PLAN
 DATE : 06.09.2023
 DRAWN BY :
 NANDA KUMAR GHOSH